

Brownfields Program
File Room Document Transmittal Sheet

25

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Author of Doc: Amanda K. Short

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McGuireWoods LLP
201 North Tryon Street
P.O. Box 31247 (28231)
Charlotte, NC 28202
Phone: 704.343.2000
Fax: 704.343.2300
www.mcguirewoods.com

Amanda Kitchen Short
Direct: 704.343.2359

McGUIREWOODS

ashort@mcguirewoods.com
Direct Fax: 704.444.8861

October 4, 2011

VIA E-MAIL AND FEDERAL EXPRESS

Bruce Nicholson
NCDENR, Brownfields Program
Special Remediation Branch
Superfund Section
Division of Waste Management
401 Oberlin Road, Suite 150
Raleigh, North Carolina 27699

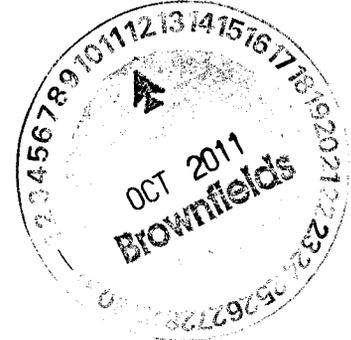
Tony Duque
NCDENR, Brownfields Program
Special Remediation Branch
Superfund Section
Division of Waste Management
401 Oberlin Road, Suite 150
Raleigh, North Carolina 27699

Re: Former Celanese DRP Site, 2300 Archdale Drive, Charlotte, Mecklenburg County, NC, NCBP Project No.: 09026-05-60 – Petition to Amend Notice of Brownfields Property

Dear Bruce and Tony:

On behalf of Piston, LLC, we are submitting this letter as a petition to amend the Notice of Brownfields Property dated November 9, 2007 for the Former Celanese DRP Site located at 2300 Archdale Drive in Charlotte, North Carolina (the "Property"). This Notice was recorded in Book 23055, Page 523 of the Mecklenburg County Register of Deeds. Specifically, we request that paragraph 1.a. of the Notice (and paragraph 13.a. of the Brownfields Agreement) be amended. Currently, paragraph 1.a. reads as follows:

1. No use may be made of the Brownfields Property other than as the location of high-density, multi-family residences, including townhouse and condominium units, that employ slab-on-grade construction; open-space parks, a swimming pool and a recreational facility. Within the meaning of this restriction, the following definitions apply:



- a. **“High-density residential” refers to townhomes, condominiums, apartments, group homes, dormitories and boarding houses that are constructed on a slab-on-grade foundation, used as permanent dwellings, and where the real property and fixtures outside the residences is usable in common by all residents.**

Please let me know if you need any additional information from us. We look forward to hearing from you.

Sincerely,

McGuireWoods LLP

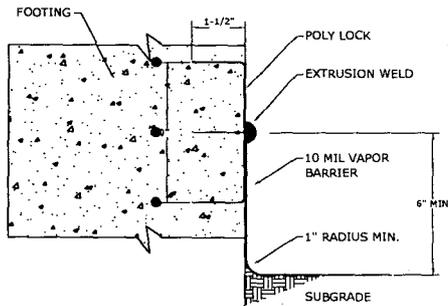


Amanda K. Short

AKS

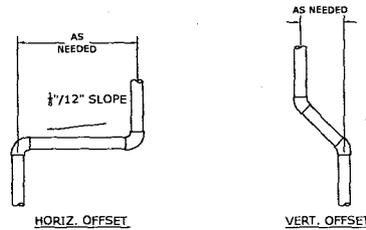
Enclosures

cc: Will Coles
Gary Smith
Bob Burkett
Joe Murphy

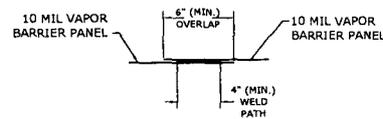


TYP. GEOMEMBRANE ANCHOR DETAIL
SCALE: NOT TO SCALE

NOTE: VENT RISER SHALL FREELY DRAIN INTO THE GAS PERMEABLE LAYER BENEATH THE BLDG. SLAB.



TYP. VENT RISER OFFSETS
SCALE: NOT TO SCALE



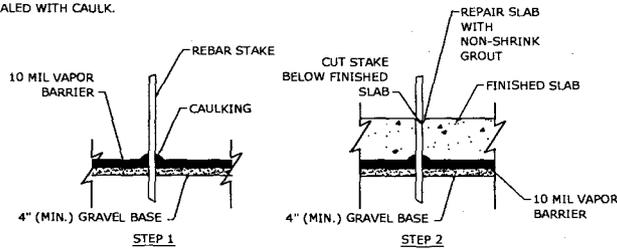
TYP. VAPOR BARRIER SEAMING DETAIL
SCALE: NOT TO SCALE

NOTES:

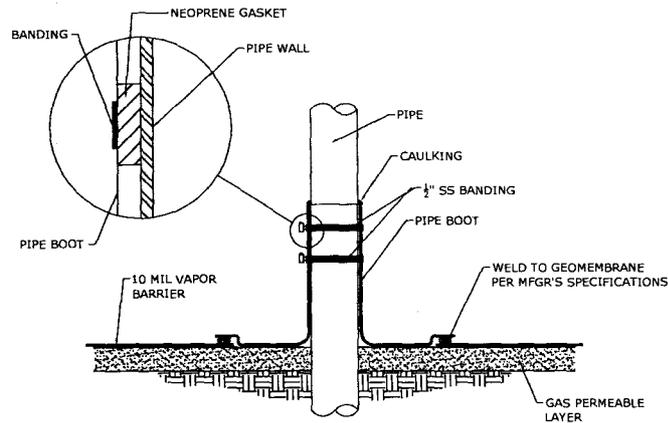
- PERFORATED PIPE SHALL BE INSTALLED WITH ONE ROW OF PERFORATIONS ORIENTED DOWNWARD TO PRECLUDE FILLING/PARTIAL FILLING OF SOIL GAS VENT PIPING WITH CONDENSATE/RAINWATER.
- ELECTRICAL CONDUIT/DUCT INSTALLATIONS BELOW THE METHANE BARRIER ARE PROHIBITED UNLESS THE INSTALLATION COMPLIES WITH THE FOLLOWING REQUIREMENTS:

- UTILITY TRENCH DAM IS INSTALLED PRIOR TO ENTERING BUILDING FOOTPRINT
- SITE CONDITIONS REQUIRE SUB-SLAB INSTALLATION
- MEETS HAZARDOUS LOCATION REQUIREMENTS CONTAINED IN ARTICLE 501 THROUGH 509 OF THE NATIONAL ELECTRIC CODE
- MEETS APPLICABLE LOCAL, STATE, AND FEDERAL CODES.

NOTE: IF STAKES ARE REQUIRED FOR INSTALLATION OF THE SLAB (E.G., TO SUPPORT GUIDES USED FOR STRIKING OFF CONCRETE TO THE FINISHED SLAB ELEVATION) AND WHICH PENETRATE THE MEMBRANE, STAKES SHALL BE CONSTRUCTED OF STEEL REBAR. PENETRATIONS SHALL BE SEALED WITH CAULK.



TYP. STAKE INSTALLATION DETAIL
SCALE: NOT TO SCALE



TYP. PIPE BOOT DETAIL
SCALE: NOT TO SCALE

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REV. ISSUED DATE DESCRIPTION



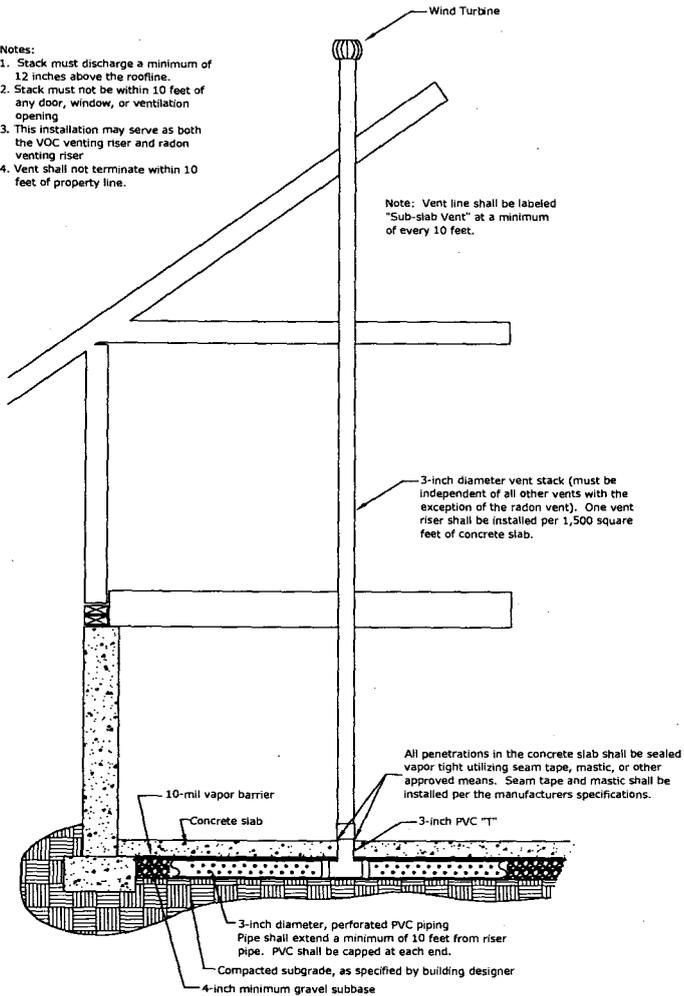
ARCADIS

30 Palmetto Drive
Suite 150
Charlotte, NC 28015
Tel: 954.367.3800 Fax: 954.367.1600
www.arcadis-usa.com

PROJECT MANAGER Elizabeth Rhine	DEPARTMENT MANAGER	LEAD DESIGN PROF. Andrew Davis	CHECKED Elizabeth Rhine
SHEET TITLE Ryan Homes, Park South Station Sub-Slab Venting System Details Charlotte, North Carolina		TASK/PHASE NUMBER 00002	DRAWN BY AAD
		PROJECT NUMBER CS028766.0000	DRAWING NUMBER 2

Notes:

1. Stack must discharge a minimum of 12 inches above the roofline.
2. Stack must not be within 10 feet of any door, window, or ventilation opening.
3. This installation may serve as both the VOC venting riser and radon venting riser.
4. Vent shall not terminate within 10 feet of property line.



Sub-slab Venting Detail
Not to scale

SPECIFICATION

Contractor shall install a vapor barrier beneath all structures that are identified as being present within areas of concern.

Vapor Barrier system shall consist of the following components:

Vapor Barrier

1. Shall be a 10-mil, Class C material
 - a. shall have a water vapor transmission rate (WVTR) less than or equal to 0.006 (ASTM E 96).
 - b. Water Vapor Permeance less than or equal to 0.3 perms (ASTM E 154).
 - c. Tensile strength greater than 13.6 lbf/in (ASTM E 154).
 - d. Puncture resistance at least 475 g (ASTM D 1709).
2. Pre-submittal specifications shall be submitted to Engineer for approval prior to construction.
3. Vapor barrier material must be compatible with VOCs present in soil gas. Recommended manufacturers include Stego Industries, Fortifiber, and LBI Technologies.
4. Vapor barrier shall be installed per the manufacturers recommendations. Overlapping of seams, patching of holes and tears, and penetrations in the liner (piping) shall all be per the manufacturers recommendations.

Seam Tape

1. Seam tape must have a WVTR of 0.3 perms or less (ASTM E 96).
2. Seam tape specifications must be submitted for approval prior to construction.
3. Seam tape must be compatible with VOCs present in the soil gas. Recommended manufacturers include Stego Industries, Fortifiber, and LBI Technologies.

Vapor Proofing Mastic

1. Mastic must have a WVTR of 0.3 perms or less (ASTM E 96).
2. Mastic must be compatible with VOCs present in the soil gas. Mastic should be in accordance with the vapor barrier manufacturers recommendations.

PVC Piping

1. Sub-slab piping shall be 3-inch diameter, schedule 40, 0.020 slotted PVC pipe. Slotted piping shall extend 10 feet in each direction from the PVC "T" fitting.
2. Vent riser piping shall be 3-inch diameter schedule 40 PVC. Riser shall be labeled "Vapor Barrier Vent" every 10 feet and at all location where piping is visible in final construction.
3. All penetrations of PVC piping shall be sealed to a vapor tight condition using mastic or seam tape, per the manufacturers recommendations.

INSTALLATION

The vapor barrier, seam tape, and mastic shall be installed per the manufacturers recommendations. Installation shall be performed so as to insure a vapor tight barrier beneath all structures. No voids shall be acceptable in the vapor barrier or concrete slab.

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REVISED DATE DESCRIPTION



30 Palmetto Drive
Suite 135
Greenville, SC 29615
Tel: 864.347.3900 Fax: 864.367.1800
www.arcadis-usa.com

PROJECT MANAGER Elizabeth Rhine	DEPARTMENT MANAGER	LEAD DESIGN PROF. Andrew Davis	CHECKED Elizabeth Rhine
SHEET TITLE Ryan Hornes, Park South Station Sub-Slab Venting System Charlotte, North Carolina		TASK/PHASE NUMBER 00002	DRAWN BY AAD
		PROJECT NUMBER GS02B766.0000	DRAWING NUMBER 1

PARK SOUTH



PLAN 2 - ELEV. A

PLAN 3 - ELEV. A

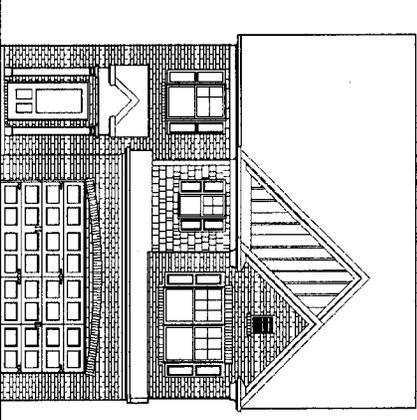
PLAN 2 - ELEV. B

PLAN 3 - ELEV. B

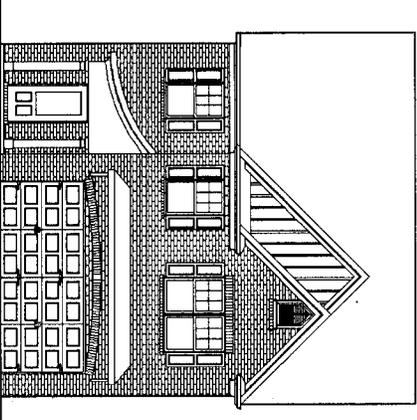


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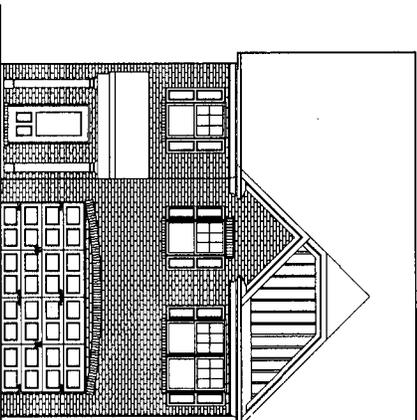
PARK SOUTH



FAIRFAX - ELEV. D



FAIRFAX - ELEV. E



FAIRFAX - ELEV. F



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